

# Cymmer Street

CARDIFF, CF11 7AB

GUIDE PRICE £335,000

Hern &  
Crabtree





# Cymmer Street

A spacious traditional bay fronted family home, situated in the vibrant area of Grangetown, Cardiff.

This charming home, offers a delightful blend of traditional comfort and modern convenience. With three well-proportioned bedrooms, this property is ideal for families or those seeking extra space for guests or a home office.

As you enter, you are greeted by a warm and inviting atmosphere, perfect for relaxing after a long day. The layout of the house is practical, providing ample room for both living and entertaining. The living area is spacious and filled with natural light, creating a welcoming environment for family gatherings or quiet evenings in.

The open plan kitchen/ dining room is perfect for enjoying family dinners or hosting friends.

Upstairs, the three bedrooms are all good sizes, each providing a peaceful retreat. The rooms all have exposed wooden flooring.

The location of this property is particularly appealing, with easy access to local amenities, schools, and parks, making it a great choice for families. Cardiff's vibrant city centre is just a short distance away, offering a wealth of shopping, dining, and entertainment options.

In summary, this mid-terrace house on Cymmer Street is a wonderful opportunity for those looking to settle in a lively community while enjoying the comforts of a spacious home. Don't miss the chance to make this property your own.



**Reception Hall**

Traditional wooden front door with glass panels and window above provides access to the reception hall.

Traditional tiled flooring. Radiator. Staircase rising to the first floor with newel posts and spindles. Traditional wooden panelled doors lead to the living room and to the kitchen/ dining room.

**Reception rooms**

26'4" x 10'11"

**Living area**

A light and spacious reception room. Bay window to the front elevation. Stripped wooden flooring. Feature fireplace. Shelving to alcove. Dado rail. Picture rail. Coving to the ceiling. Two panelled radiators.

**Sitting area**

Double glazed window to the rear elevation. Continuation of wooden flooring.

**Kitchen/ dining room**

24'10" x 10'2"

A spacious open plan kitchen/ dining room.

**Kitchen area**

A bespoke range of matching wall and base units with cupboards and drawers offering ample storage facilities with twin bowl stainless steel sink drainer unit. Plumbing for washing machine. Built in oven with electric hob and extractor fan above. Space for fridge freezer. Window to the rear elevation with aspect to the garden. Walls are tiled. Wood effect laminate flooring.

**Dining area**

Space for dining table and chairs. Traditional leaded sash window to the side elevation. Door to understairs storage cupboard. Stable door to the side elevation giving access to the garden.

**Landing**

A split level landing. Access to the loft space.

**Bedroom one**

15'1" x 11'3"

A beautifully presented principle bedroom with three

windows to the front elevation offering plenty of light.

Exposed wooden floorboards. Panelled radiator. Picture rail. Coving to the ceiling.

**Bedroom two**

9'1" x 11'5"

A second double bedroom. Window to the rear elevation. Radiator. Alcoves ideal for wardrobes. Wooden flooring. Coving to the ceiling.

**Bedroom three**

11'3" x 7'3"

Traditional sash window to the side elevation. Exposed wooden floor boards. Radiator. Feature fireplace.

**Bathroom**

10' x 5'10"

A modern three piece suite in white comprising: panelled bath with shower screen, mains pressure shower and mixer tap, wash hand basin set into vanity unit and low level WC. Walls are part tiled. Exposed wooden floorboards. Door to airing cupboard housing boiler. Heated towel radiator. Double glazed window to the rear elevation.

**Cloakroom**

A useful second WC. Sash window to the side elevation. High level WC. Radiator.

**External areas****Outside front**

To the front of the property is a low maintenance front garden with low level walling and paving.

**Outside rear**

An enclosed rear garden which is of low maintenance. Enclosed by brick walling and mainly paved. Pedestrian rear lane access. Raised flower beds.

**Disclaimer**

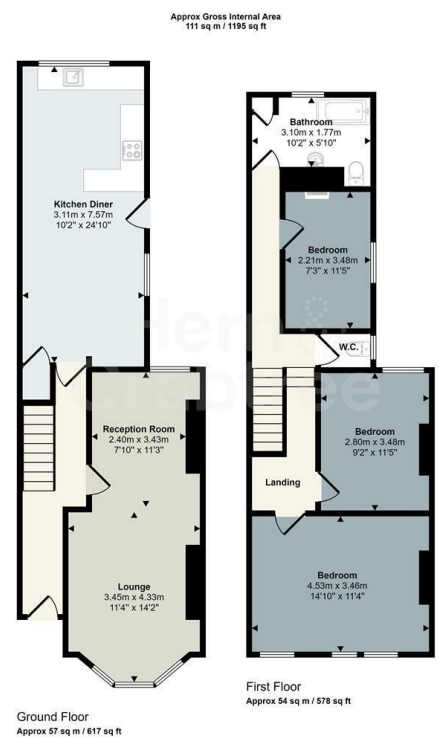
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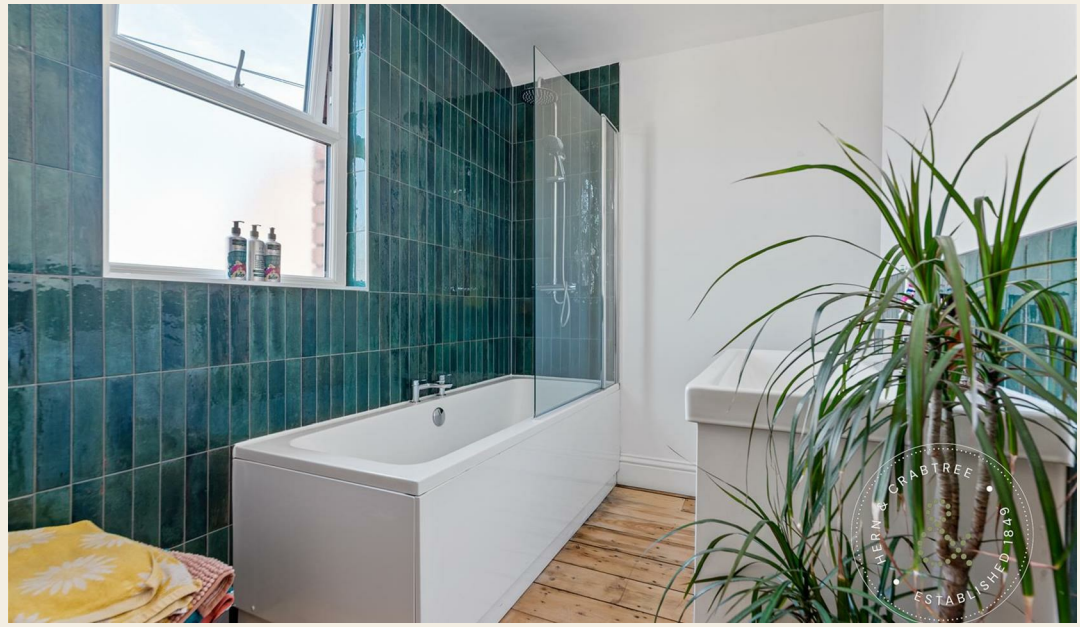
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Energy Efficiency Rating		
	Current	Potential
<i>Very energy efficient - lower running costs</i>		
(92 plus) <b>A</b>		<b>86</b>
(81-91) <b>B</b>		
(69-80) <b>C</b>	<b>67</b>	
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
<i>Not energy efficient - higher running costs</i>		
England & Wales		EU Directive 2002/91/EC



Hern & Crabtree

02920 228135 pontcanna@hern-crabtree.co.uk hern-crabtree.co.uk 87 Pontcanna Street, Pontcanna, Cardiff, CF11 9HS

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